

Notice of Environmental Neighborhood Meeting



PROJECT NAME:	Holly Street Permanent Creek Bank Repair	NEIGHBORHOOD MEETING INFORMATION	
LOCATION:	565 NW Holly Street	DATE:	Wednesday, April 6, 2022
NEIGHBORHOOD:	Newport	TIME:	6:30 p.m.
FILE NO:	PRJ21-00011/SHO21-00018	LOCATION:	Virtual Meeting www.issaquahwa.gov/HollyStreetMeeting

ENVIRONMENTAL NEIGHBORHOOD MEETING

The City is hosting a neighborhood meeting to afford the community an opportunity to understand the proposal with particular focus on critical areas, generate discussion, and raise issues before a decision is rendered. City Staff, along with the Applicant's technical area experts, will be in attendance to answer questions and address concerns about the project.

Required Studies to be Discussed: SEPA Checklist, Stream Study

PROJECT INFORMATION

Project Description: The project will install bio-engineered creek bank stabilization along 130 feet of Issaquah Creek. The measures will include large woody debris and habitat structures anchored into the stream bank to provide erosion protection. The stream bank will be revegetated to provide long term stabilization. (See attached Plans)

Location: 565 NW Holly Street (See Vicinity Map)

Required Permits: Shoreline Substantial Development, Site Work, Flood Hazard

Size of Subject Area in Acres: 19.3 **Sq. Ft.:** 841,186

Applicant:

Janelle Walker, Construction Coordinator, Issaquah School District
5150 220th Avenue SE, Issaquah, WA 98029
425-837-7036, walkerj2@issaquah.wednet.edu

PUBLIC MEETING:

- Input from the public will be documented in the permit file and used to finalize the critical area studies for the project. A summary of the meeting will be provided to the Environmental Board for their consideration related to future code changes.
- The decision, once rendered, is appealable.

MEETING SIGN-UP

The day of the meeting, enter the link above and follow these steps:

1. Enter attendee's name
2. Enter attendee's email address
3. Click Join Now

MEETING PACKET AND MATERIALS

A memorandum describing the critical areas of the site which will be discussed at the meeting are available by visiting the following: issaquahwa.gov/EnvironmentalImpact

PUBLIC COMMENT

Written comments are accepted until Wednesday, April 6, 2022 or until the decision is rendered:

Community Planning and Development Department
P.O. Box 1307
Issaquah, WA 98027

Or by e-mail to the Project Planner noted below.

MORE PROJECT INFORMATION

Other key application documents are available at the City's website: issaquahwa.gov/development. Click on the parcel, select "View Related Documents and Permits", and then click on "Related Documents" tab to see the available submittals.

CONTINUED PUBLIC NOTIFICATION

To receive further public notices on this project please provide your name, address, and e-mail to the Project Planner and request to become a Party of Record.

Notice is required to be provided to property owners within 300 feet of the site and to Parties of Record. Please share this notice with others in your neighborhood who may be interested in this project. Property owner, Mortgagee, Lien Holder, Vendor, Seller, etc., please share this notice with tenants and others who may be interested in this project.

CITY CONTACT INFORMATION

Project Planner: Doug Yormick, Environmental Planner
Phone Number: 425-837-3083
E-Mail: dougy@issaquahwa.gov

Community Planning and Development Department:
Phone Number: 425-837-3100
E-Mail: CPD@issaquahwa.gov



Holly Street Permanent Creek Bank Repair Vicinity Map



1,789.6 0 894.78 1,789.6 Feet

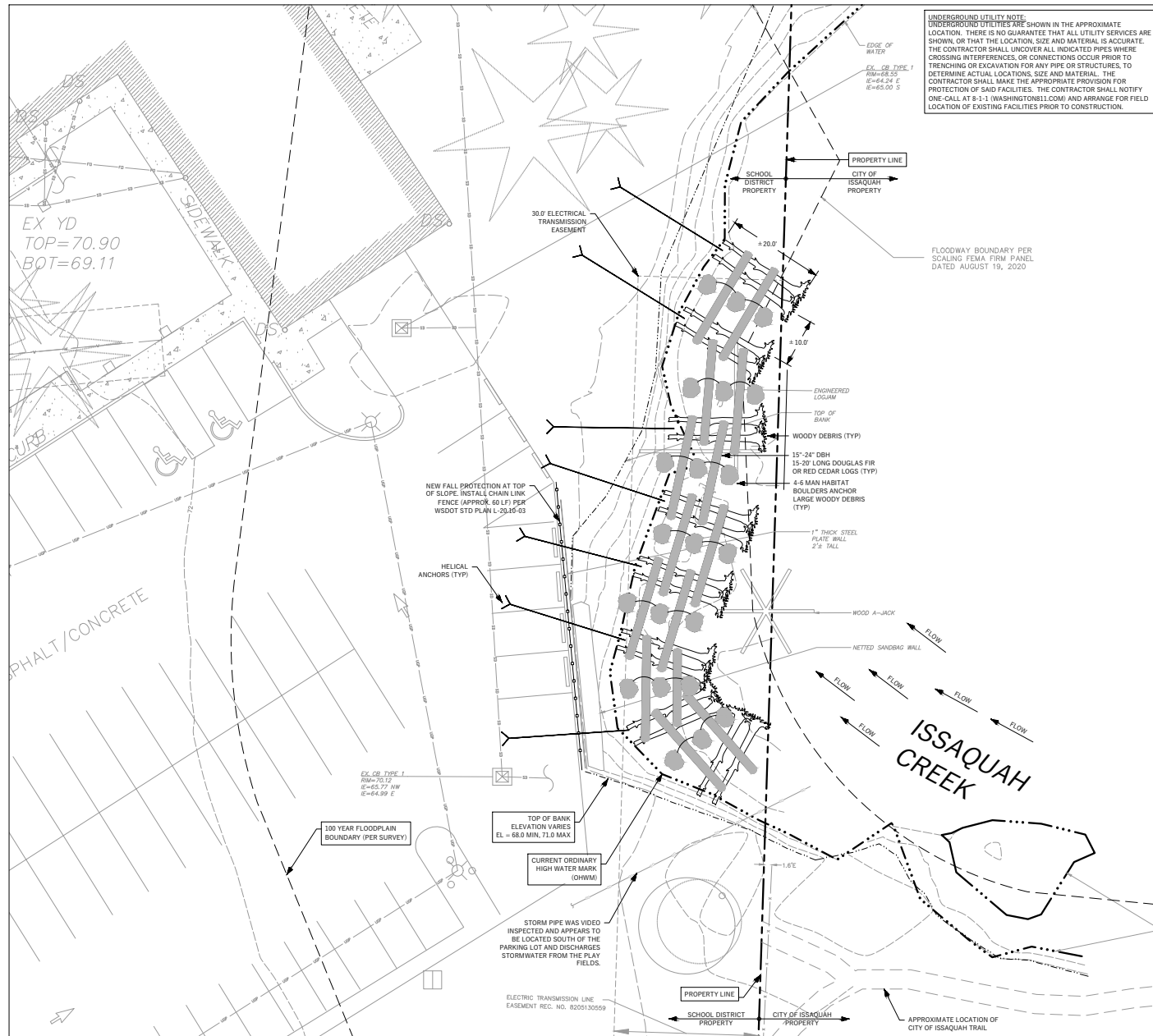
DISCLAIMER: These maps and other data are for informational purposes and have not been prepared for, nor are they suitable for legal, surveying, or engineering purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. The City of Issaquah makes no warranty or guarantee as to the content, accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained herein.

Legend

- Issaquah City Limits
- Streets (Medium scale)
 - STREET
 - HIGHWAY
 - RAMP
 - WALKWAY
 - DRIVEWAY; ACCESS; RETAIL AC
 - PERMANENTLY CLOSED
- Trails
- Railroad
- Water Bodies
- Streams
- Shaded Relief
- Parks - Open Space - NGPE
 - PARK
 - PARK/OPEN SPACE
 - OPEN SPACE
 - NGPE
 - STATE PARK

1: 10,737





Call
before you
Dig.
8-1-1 or
1-800-424-5555
WASHINGTON STATE (94)



SCALE 1"=10'

LEGEND

PROPERTY LINE
EXISTING CONTOUR

THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LOADED WATER DO NOT LEAVE THE SITE. ANY SUCH FACILITIES INSTALLED MUST BE MAINTAINED IN PROPER OPERATING CONDITION UNTIL ALL DISTURBED AREAS HAVE BEEN REVEGETATED OR OTHERWISE DEVELOPED AND THE POTENTIAL FOR EROSION ELIMINATED.

GENERAL TESC NOTES:

- THE EROSION & SEDIMENT CONTROL (ESC) MEASURES SHOWN ON THIS PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC MEASURES MUST BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LOADED WATER DO NOT LEAVE THE SITE. ANY SUCH FACILITIES INSTALLED MUST BE MAINTAINED IN PROPER OPERATING CONDITION UNTIL ALL DISTURBED AREAS HAVE BEEN REVEGETATED OR OTHERWISE DEVELOPED AND THE POTENTIAL FOR EROSION ELIMINATED.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE DEVELOPER AND ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
- STABILIZED CONSTRUCTION ENTRANCES MUST BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- THE ESC FACILITIES MUST BE INSPECTED DAILY BY THE DEVELOPER/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS MUST BE KEPT OF WEEKLY REVIEW OF THE ESC FACILITIES.
- SOILS MUST NOT REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS FROM MAY 1 THROUGH SEPTEMBER 30 AND NOT MORE THAN 48 HOURS FROM OCTOBER 1 AND APRIL 30. EXPOSED AND UNWORKED SOILS MUST BE COVERED BY MULCH, SOILING, PLASTIC COVERING, SITE-ARMYING, OR AS OTHERWISE APPROVED OR REQUIRED BY THE PUBLIC WORKS CONSTRUCTION INSPECTOR.
- THE ESC FACILITIES ON INACTIVE SITES MUST BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
- AT NO TIME MAY MORE THAN 6-INCHES OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES MUST BE CLEANED PRIOR TO PAVING AND FINAL APPROVAL. THE CLEANING OPERATION MAY NOT FLUSH SEDIMENT-LOADED WATER INTO THE DOWNSTREAM SYSTEM.
- DUST GENERATED DURING CONSTRUCTION ACTIVITIES MUST BE CONTROLLED BY WETTING DUST SOURCES SUCH AS AREAS OF EXPOSED SOILS, WASHING TRUCK WHEELS BEFORE THEY LEAVE THE SITE, AND INSTALLING AND MAINTAINING ROCK CONSTRUCTION ENTRANCES. CONTRACTOR MUST MECHANICALLY SWEEP STREETS DAILY WITH VACUUM SWEEPER UNLESS OTHERWISE APPROVED.
- ANY EXCAVATED MATERIAL REACHED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILING MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING.
- WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2-INCHES.
- PRIOR TO SEPTEMBER 15, ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEED PRIOR TO OCTOBER 1.
- REMOVE ALL ESC MEASURES ONCE ALL WORK IS COMPLETED AND SITE IS PERMANENTLY STABILIZED.

TESC AND TURBIDITY MONITORING:

- DISCHARGE FROM THE PROJECT SITE SHALL NOT EXCEED THE NTU LIMIT AT ALL TIMES UP TO THE 10 YEAR/24 HOUR STORM EVENT. THIS EVENT IS DEFINED AS 3.3 INCHES OF RAINFALL OVER A 24 HOUR PERIOD, AS MEASURED AT THE CITY'S RAIN GAGE. DATA FROM THIS RAIN GAGE IS POSTED ON THE CITY'S WEBSITE. THE DISCHARGE LIMIT TO A NATURAL WATER BODY IS 5 NTU OVER BACKGROUND. OTHERWISE THE LIMIT SHALL BE 100 NTU. EXCEEDANCE OF THE NTU LIMIT IS CONSIDERED A VIOLATION OF THE PERMIT AND IS SUBJECT TO STOP WORK AND CODE VIOLATION PENALTIES.
- THE CITY OF ISSAQUAH WILL MEASURE THE TURBIDITY OF ANY DISCHARGE AT THE DESIGNATED MONITORING POINTS TO VERIFY COMPLIANCE WITH THE DISCHARGE LIMIT. THE TESC SUPERVISOR SHALL BE NOTIFIED OF DISCHARGES ABOVE 25 NTU, SO THAT ACTION CAN BE TAKEN TO KEEP DISCHARGES BELOW THESE THRESHOLD LEVELS. FOR PROJECT SITES WHERE DESIGNATING A MONITORING POINT IS NOT FEASIBLE (E.G. FLAT SITES), THE MONITORING LOCATIONS WILL BE AT THE DISCRETION OF THE CITY OF ISSAQUAH.
- MONITORING POINTS SHALL BE READILY ACCESSIBLE TO THE CITY OF ISSAQUAH AT ALL TIMES FOR ALL PHASES OF CONSTRUCTION.
- FAILURE TO PROVIDE AND MAINTAIN APPROVED TESC FACILITIES AT CONSTRUCTION SITES IS CONSIDERED A VIOLATION OF THE PERMIT AND IS SUBJECT TO STOP WORK AND CODE VIOLATION PENALTIES.
- ANY DISCHARGE TO A STREAM, LAKE OR WETLAND SHALL NOT EXCEED WATER QUALITY STANDARDS PER WAC 173-201A. FAILURE TO MEET WAC 173-201A IS CONSIDERED A VIOLATION OF THE PERMIT AND IS SUBJECT TO STOP WORK AND CODE VIOLATION PENALTIES.



**ISD HOLLY STREET CAMPUS
PERMANENT CREEK REPAIR**
665 NW HOLLY STREET
ISSAQUAH, WA 98027

NO.	REVISION / ISSUE	DATE

OWNER:
ISSAQUAH SCHOOL DISTRICT
5150 220TH AVE SE
ISSAQUAH, WA 98029

CONTACT: JANELLE WALKER
PHONE: 425.306.4022

GEOTECHNICAL ENGINEER:
NELSON GEOTECHNICAL ASSOCIATES
17311 135TH AVE, N.E. SUITE A-500
WOODINVILLE, WA 98072

CONTACT: KHAL M. SHAWISH, PE
PHONE: 425.486.1669

PROJECT: 2020-19
DATE: 2021.10.22
SCALE: SEE PLAN

SHEET:
C-300

CONSTRUCTION SITE PLAN